

Rajpur-Sonarpur Municipality



March, 2024- October, 2024

www.rajpursonarpurmunicipality.in

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SBM 2.0

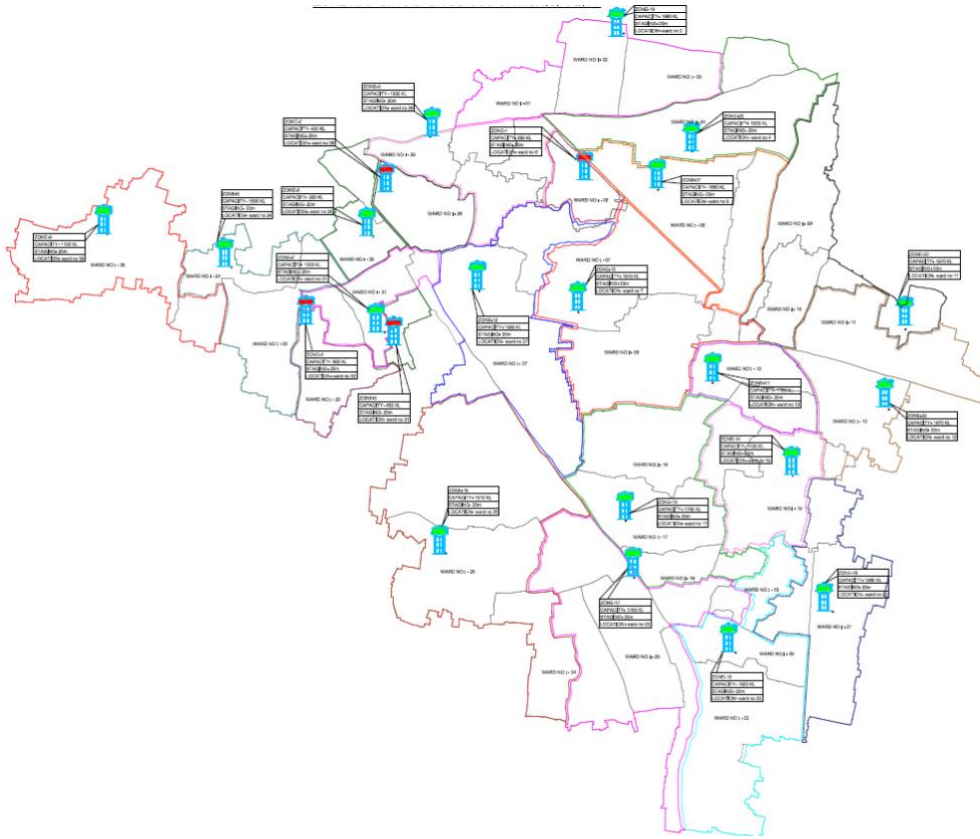
Presently we are working on ODF+ and we got the approval of 31 nos of Toilet for refurbishment in which 22 nos of Community Toilet (CT) and 09 nos of Public Toilet (PT) for which we completed all the work and running successfully



AMRUT 2.0

Water Supply :

The DPR for **Clear Water Distribution network with house connections and metering system** already been approved in SLTC. And subsequently we have got the approval for implementation of the project. Value of work is Rs.492.99 crore and the work has been divided into 23 zones . In this whole work Total Pipe Length is 1445.838 KM. in which Re-use of Existing Pipe Length=209.925 KM, Proposed New Pipe Length=1235.913 KM(a. HDPE Pipe Length = 1109.265KM, b. PVC - O Pipe Length = 47.979 KM, c. DI-K7 Pipe Length = 78.669 KM).



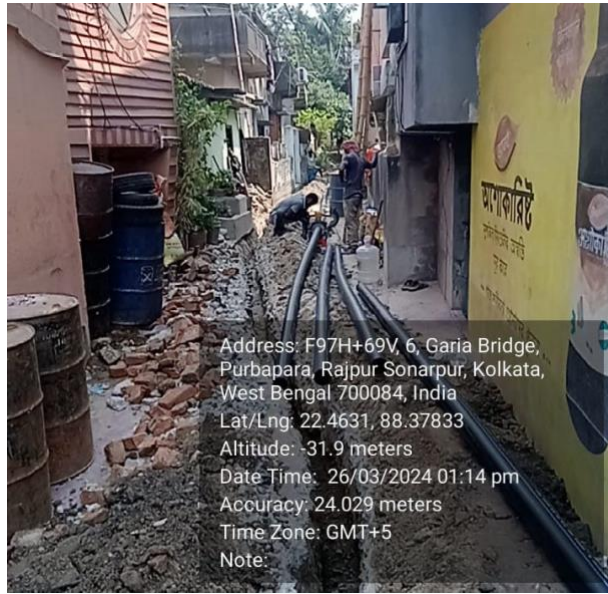
Zone map of Project area (ward 1-35)

Distribution Network of all 23 Zones are in full swing with the cooperation of ward councillors and other citizens of respective wards. The help of other departments has to be taken at different places like electric department as they have many underground lines. To prevent any kind of accident, joint inspection and demarcation of lines on the map were taken. Many roads of KMDA and PWD pass through our entire region, in that case, meeting with them, doing joint inspection and identifying the roads has been done with their permission.

Working in monsoon was very challenging for us , the citizes have cooperated and helped us tremendously. So far our physical progress is like 40%, After the Puja, the work will start again with full enthusiasm.



Executive Engineer himself supervises the work 🙌



👉 Work of Distribution Network lines are at different Zones 👈



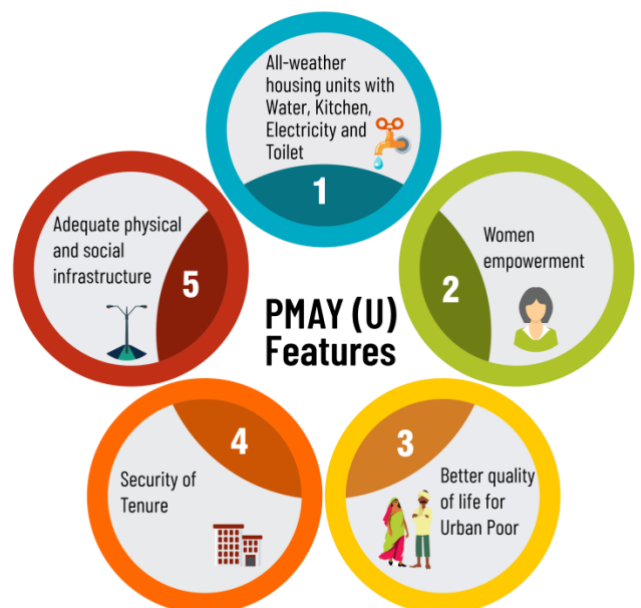
Inspection with PWD for Kamrabad Road 📍



Inspection with Electric Department 📍

Pradhan Mantri Awas Yojana – Urban

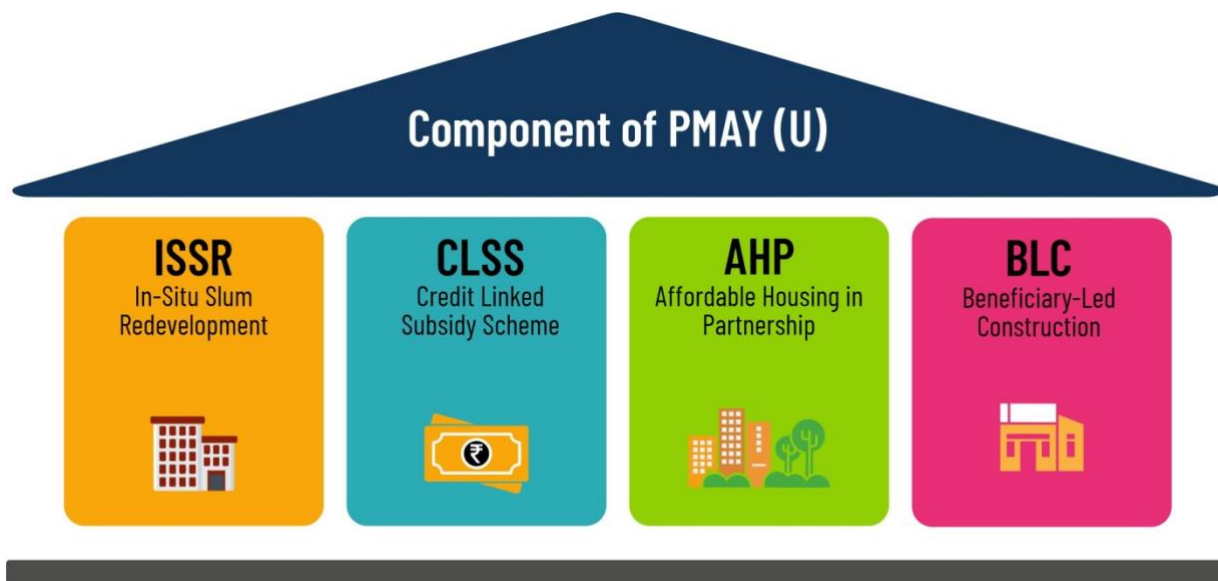
Pradhan Mantri Awas Yojana – Urban (PMAY-U), a flagship Mission of Government of India being implemented by Ministry of Housing and Urban Affairs (MoHUA), was launched on 25th June 2015. The Mission addresses urban housing shortage among the EWS/LIG and MIG categories including the slum



dwellers by ensuring a pucca house to all eligible urban households by the year 2022, when Nation completes 75 years of its Independence. PMAY(U) adopts a demand driven approach wherein the Housing shortage is decided based on demand assessment by States/Union Territories. State Level Nodal Agencies (SLNAs), Urban Local Bodies (ULBs)/ Implementing Agencies (IAs), Central Nodal Agencies (CNAs) and Primary Lending Institutions (PLIs) are main stakeholders who play an important role in implementation and success of PMAY(U).

The Mission covers the entire urban area consisting of Statutory Towns, Notified Planning Areas, Development Authorities, Special Area Development Authorities, Industrial Development Authorities or any such authority under State legislation which is entrusted with the functions of urban planning & regulations. All houses under PMAY(U) have basic amenities like toilet, water supply, electricity and kitchen. The Mission promotes women empowerment by providing the ownership of houses in name of female member or in joint name. Preference is also given to differently abled persons, senior citizens, SCs, STs, OBCs, Minority, single women, transgender and other weaker & vulnerable sections of the society. A PMAY(U) house ensures dignified living along with sense of security and pride of ownership to the beneficiaries.

PMAY(U) adopts a cafeteria approach to suit the needs of individuals based on the geographical conditions, topography, economic conditions, availability of land, infrastructure etc. The scheme has hence been divided into four verticals as given below:



Criteria for selecting beneficiaries :

- Beneficiaries must belong to Economically Weaker Sections (EWS) category
- Beneficiaries must not own “Pucca” house anywhere in India
- Beneficiaries must have ownership of the land, where construction is proposed.

PMAY Verticals: The Mission is being implemented through four verticals giving option to beneficiaries. These four verticals are as below:

- In-situ Slum rehabilitation of Slum Dwellers with participation of private developers using land as a resource (**ISSR**)
- Promotion of Affordable Housing for weaker section through credit linked subsidy (**CLSS**)
- Affordable Housing in Partnership with Public & Private sectors (**AHP**)
- Subsidy for beneficiary-led individual house construction (**BLC**)

(Beneficiary Led Construction) BLC

(Beneficiary-Led Individual House Construction or Enhancement)

- A Centrally Sponsored Scheme (CSS)
- Assistance to individual eligible families belonging to EWS categories to either construct new house or to enhance existing houses on their own
- Central assistance upto **Rs. 1.5 lakh per house**
- Enhancement shall mean addition of minimum carpet area of 9.0 Sq Mt into the existing house with pucca construction of at least one habitable room or room with kitchen and/or bathroom and/or toilet conforming to NBC norms
- The total carpet area after enhancement must not be less than 21 Sqm and must not be more than 30 Sqm

Implementation and Project Management :

The Mission supports construction of Houses upto **30 Sq. Mtr Carpet area (Model layout Plan prepared by MEDte, Govt. of West Bengal)** with basic civic infrastructure and it conforms to the standards as National Building Code. SUDA being the State Level Nodal Agency , it monitors regular progress and provide supports to the ULBs through capacity building measures thereby ensuring effective implementation. Municipal Engineering Directorate provides technical support and supervision with regard to Construction of Dwelling Units and Infrastructure. State level technical cell (SLTC) is in position comprising of ten professionals who are providing support to the ULBs and SUDA. Third Party Quality Monitoring Agency (TPQMA) has been engaged to ensure quality of construction under the above verticals except CLSS.

Fund Sharing

Total Dwelling Unit Cost is Rs. 3.68 Lakh (Rs. 4.41 Lakh for Hilly Areas) Ministry of Housing & Urban Affairs (MoHUA), Govt. of India is providing **Rs.1.5 lakh for BLC & AHP**. Government of West Bengal is providing Rs.1.93 lakhs as State Share to the ULBs having less than 5 Lakh Population, **Rs. 1.83 lakh** to the ULBs having more than 5 Lakh Population and Rs.2.66 lakh for the ULBs in Hilly Areas. Moreover, the Beneficiary Contribution is **Rs.0.25 lakh** for all ULBs except ULBs having population more than 5 lakhs (**Rs.0.35 Lakh**) Apart from these, 5% of the Total project Cost is provided by the State and rest 5% by the ULBs for infrastructure Development

Progress Report At A Glance:

Year 2015-16 Total Beneficiary :868 Foundation Stage: 868 Lintel Stage : 0 Roof Stage : 868 Complete : 858	Year 2017-18 Total Beneficiary :369 Foundation Stage: 367 Lintel Stage : 0 Roof Stage : 360 Complete : 340	Year 2018-19 Total Beneficiary :369 Foundation Stage: 367 Lintel Stage : 0 Roof Stage : 360 Complete : 340
Year 2019-20 Total Beneficiary : 294 Foundation Stage: 275 Roof Stage : 260 Complete : 207	Year 2020-21 Total Beneficiary : 106 Foundation Stage: 99 Roof Stage : 88 Complete : 58	Year 2021-22 Total Beneficiary : 230 Foundation Stage: 207 Lintel : 195 Roof Stage : 181 Complete : 121
Housing for All 2020-21, (2nd Phase) Total Number Of beneficiary : 386 Foundation Stage : 322 Lintel : 292 Roof Stage : 270 Complete : 145		

Sensitization Programs Of Housing For All Project,At Jaihind

Auditorium



Picture of the constructional Phase:

Foundation:



Roof :



Complete Level:



Present Status:

Effective monitoring of ongoing project(s) is a key to successful completion of any project with monitoring of quality being most significant aspect. A State level or Central level mechanism for Third Party Quality Monitoring of projects sanctioned under PMAY shall be evolved with the following objective:

1. Review and monitoring of quality of all PMAY projects implemented by ULBs/Implementing Agencies.
2. Provide a structured report on the quality of projects under PMAY. States/UTs should draw up their quality monitoring and assurance plans involving third party agencies. Such plan will include the visits by third party agencies to the project site and to advise State and Urban Local Bodies/ Implementing Agencies on quality related issues.

On 23rd January 2024 director and other official visited Rajpur Sonarpur Municipality. Field visits for ascertaining quality of construction at various stages of construction as per PMAY (U). 'Visits' include examining/reviewing project documents and implementation and conducting any required tests/assessments and report writing.

- We have completed the Housing project of FY 2015-16
- We almost complete the housing project ,FY 2017-18 & 2019-20
- We have already started construction of dwelling units for the FY 20-21,2021-2022,1st phase,2021-2022,2nd phase.

Social Audit

A social audit is a way of measuring, understanding, reporting and ultimately improving an organization's social and ethical performance. A social audit helps to narrow gaps between vision/goal and reality, between efficiency and effectiveness. Social Audit was performed on 5th August 2024.





Central Visit of Housing for All Projects (23rd January 2024)





প্রধানমন্ত্রী আদান যোজনায় শরণী
Pradhan Mantri Awas Yojana

- অর্থ বর্ষ : 2019-2020
- উপকোক্তার নাম : **MINOTI BODAK**
- উপকোক্তার কোড : "0319801746620842883"
- ওয়ার্ড নম্বর : 20
- বাসস্থানের জন্য অন্তর্ভুক্তি তহবিলের বিবরণ
- কেন্দ্রীয় সরকারের অর্থায়ন (টিকাস) : ১,৫০,০০০/-
- রাজ্য সরকারের অর্থায়ন (টিকাস) : ১,০০,০০০/-
- উপকোক্তার অংশ (টিকাস) : ২৫,০০০/-
- মোট তহবিলের পরিমাণ (টিকাস) : ৩,৫৫,০০০/-

বাস্তবায়নে- রাজপুর-সোনারপুর পৌরসভা, মফিদ ৫৯ পল্লব । পদ্মা

প্রধানমন্ত্রী আদান যোজনায় শরণী
Pradhan Mantri Awas Yojana

- অর্থ বর্ষ : ২০২০-২১
- উপকোক্তার নাম : **মানিক দে**
- উপকোক্তার কোড : 031980174449008752
- ওয়ার্ড নং : ২০
- বাসস্থানের জন্য অন্তর্ভুক্তি তহবিলের বিবরণ
- কেন্দ্রীয় সরকারের অর্থায়ন (টিকাস) : ২,০০,০০০/-
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